



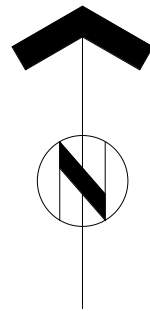
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A104	Proposed Upper Ground Floor Plan	C	18 July 24
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New Clubrooms &
All Weather Green



Date 18 July 2024
Project No 8104-01



SITE PLAN KEY:

- Existing Building
- Building/Roof Overhangs >750mm
- Driveway/Carparking
- Pavement
- Landscaping
- Bowls Green
- Covered Bowls Green

SITE LOCATION:



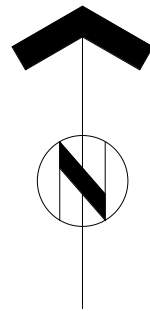
Legal Description
3C Dromorne Road, Remuera, Auckland 1050
LOT 1 DP 172547
CT No. NA105C/699
Property Name: Remuera Bowling Club

Zoning:
Open Space, Sports & Active Recreation Zone

Total Existing Site Area = 12,203m²
Refer to Site Survey Plan by:
A.I Bates & Associates Ltd
Sheet No. 1
Ref: 223077
Date: May 2023

RESOURCE CONSENT

			<div>Designed Designer</div> <div>Drawn Author</div> <div>Reviewed Checker</div> <div>Approved Approver</div>	<div> Tse Architects</div> <div>www.tse.co.nz info@akl.tse.co.nz</div>	<div> Remuera Bridge & Bowls</div> <div>TAMAKI MAKAU-RAU</div>	<div>Project Title</div> <div>BOWLS + BRIDGE CLUB BUILDING</div> <div>3C Dromorne Road, Remuera, Auckland</div>	<div>Sheet Title</div> <div>Site Plan - Existing</div>	<div>CAD Ref</div> <div>8104-01</div>	<div>Scale (A3 Original)</div> <div>1 : 750</div>	<div>Project No</div> <div>8104-01</div>	<div>Sheet</div> <div>A100</div>	<div>Revision</div> <div>C</div>	
C	Resource Consent	18 July 24	<div>Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office. This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.</div>	<div>Auckland Office</div> <div>Ground Level, Tower One, Stanway Business Park</div> <div>646 - 648 Great South Road, Ellerslie</div> <div>Phone 09 525 2214</div>									
B	General Update	5 May 24											
A	INITIAL ISSUE	16.04.2024											
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6 Market Road - Pedestrian Entry

3C Dromorne Road -
Vehicle & Pedestrian Entry

Buildings outlined in red to be demolished



SITE LOCATION:



Legal Description
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LOT 1 DP 172547
CT No. NA105C/699
Property Name: Remuera Bowling Club

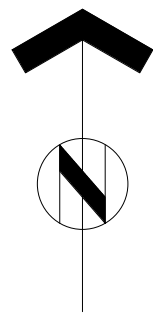
Zoning:
Open Space, Sports & Active Recreation Zone

Total Existing Site Area = 12,203m²
Refer to Site Survey Plan by:
A.I Bates & Associates Ltd
Sheet No. 1
Ref: 223077
Date: May 2023

RESOURCE CONSENT

1 Site Plan - Demolition Plan
1 : 750

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A	Demolition Plan	8 June 24								
Ref.	Description	Date								



Relocated Greenskeeper's Cottage

Existing speed hump to be retained.

New gate at service ramp entry.

New wide speed hump across entry also serves to provide level surface between pavement and road for user drop-off/pick-up.

New Covered Green 'E'

6 x Accessible parking spaces 5m x 2.6m with 800mm overhang to 2m wide footpath

New replacement tree location
Tree to be Beilschmedia Tarairae. min 1.8m at planting. PB Bag Size 30l pot. 1m diameter Iridium tree grate set into paving.

Existing low timber retaining wall

66 new carparks with 6 x accessible carparks at carparks labeled 61 to 66.
11 existing parallel carparks retained.
Total Carparks on site = 77

MARKET ROAD

DROMORNE ROAD

SITE PLAN KEY:

	Existing Club Building Footprint
	Proposed Building
	Proposed Building/Roof Overhangs >750mm
	Driveway/Carparking
	Pavement
	Landscaping
	Bowls Green
	Covered Bowls Green

Schedule of Areas - (m ²)		
Existing Driveway Area	752.83	6%
Existing Greens Area	2,657.86	22%
Landscape Area	1,914.66	16%
Overhanging Roof/Building Area greater than 750mm	213.65	2%
Proposed Building Area	675.86	6%
Proposed Carpark Area	1,769.61	15%
Relocated Existing Building Area	87.98	1%
Roof Area - Covered Greens	2,934.91	24%
Total Existing & Proposed Pavement Area	1,193.65	10%
Total Area (m ²)	12,201	

Stormwater detention tank location for 3 x 22,500L water tanks

GFA

Proposed Building 977.49m² 150m² Permitted

Site Coverage

All Buildings 32% 30% Permitted
Max. Impervious* 63% 40% Permitted

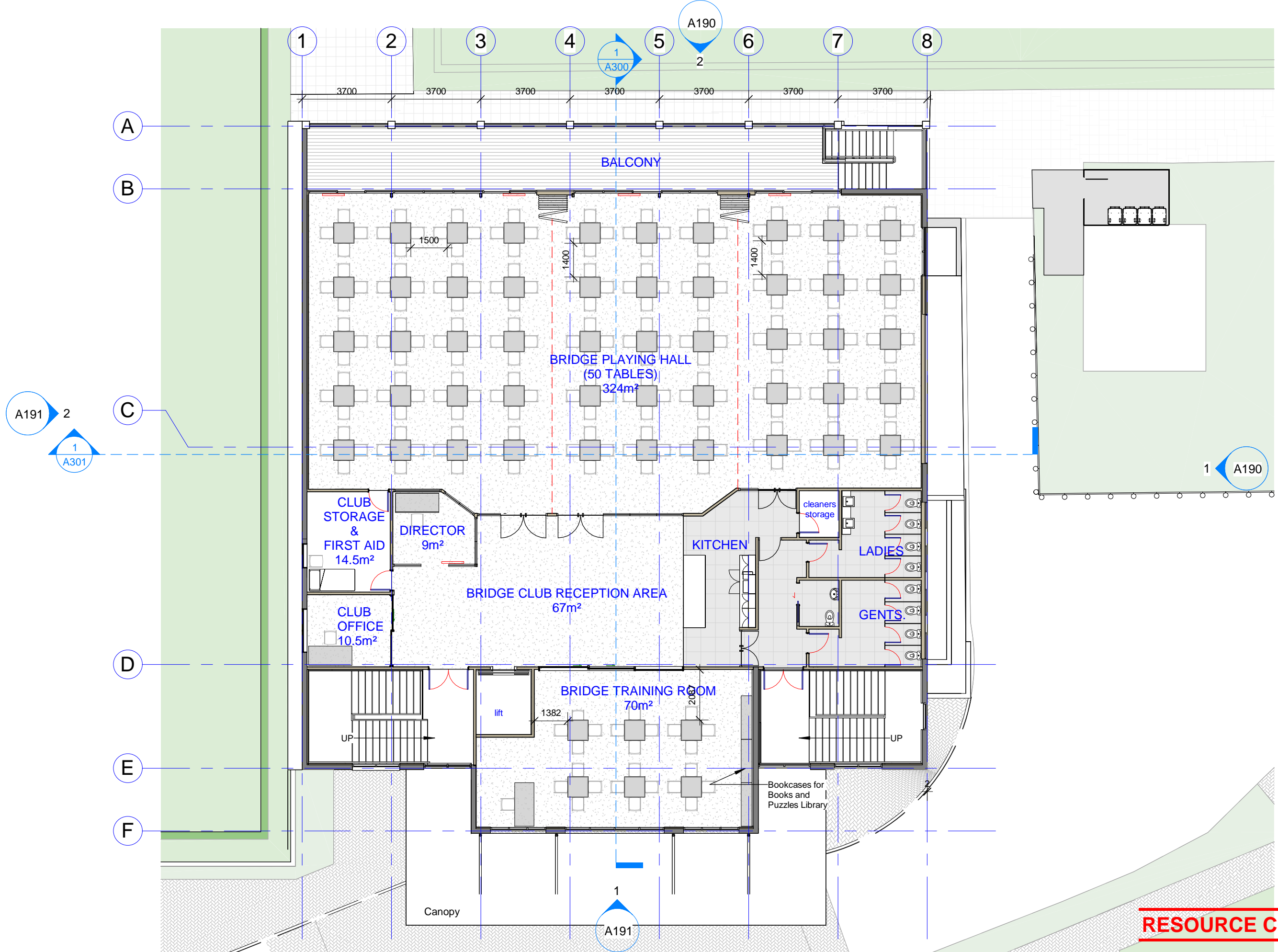
*Uncovered greens are permeable artificial fields or lawns

RESOURCE CONSENT

			<div>DesignedPMc/WO</div> <div>DrawnWO</div> <div>ReviewedPMc</div> <div>Approved-</div>	<div><div>Tse Architects</div><div>www.tse.co.nzinfo@akl.tse.co.nz</div></div>	<div><div>Remuera Bridge & Bowls</div><div>TAMAKI MAKAU-RAU</div></div>	<div>Project Title</div> <div>BOWLS + BRIDGE CLUB BUILDING</div> <div>3C Dromorne Road, Remuera, Auckland</div>	<div>Sheet Title</div> <div>Site Plan - Proposed</div>	<div>CAD Ref</div> <div>8104-01</div>	<div>Scale (A3 Original)</div> <div>1 : 750</div>	<div>Project No</div> <div>8104-01</div>	<div>Sheet</div> <div>A102</div>	<div>Revision</div> <div>F</div>
F	Detention Tanks Relocated	31 July 24	<div>Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office. This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.</div>	<div>Auckland Office</div> <div>Ground Level, Tower One, Stanway Business Park</div> <div>646 - 648 Great South Road, Ellerslie</div> <div>Phone 09 525 2214</div>								
E	Resource Consent	18 July 24										
D	Parking spaces adjusted	29 June 24										
C	Site Plan Amended	30 May 24										
B	General Update	5 May 24										
A	INITIAL ISSUE	16.04.2024										
Ref.	Description	Date										



C	Resource Consent	18 July 24
B	General Update	5 May 24
A	INITIAL ISSUE	20.03.2024
Ref.	Description	Date



D	Resource Consent	18 July 24
C	1st floor toilets amended	23 May 24
B	General Update	5 May 24
A	INITIAL ISSUE	16.04.2024
Ref.	Description	Date

Designed Designer
Drawn Author
Reviewed Checker
Approved Approver

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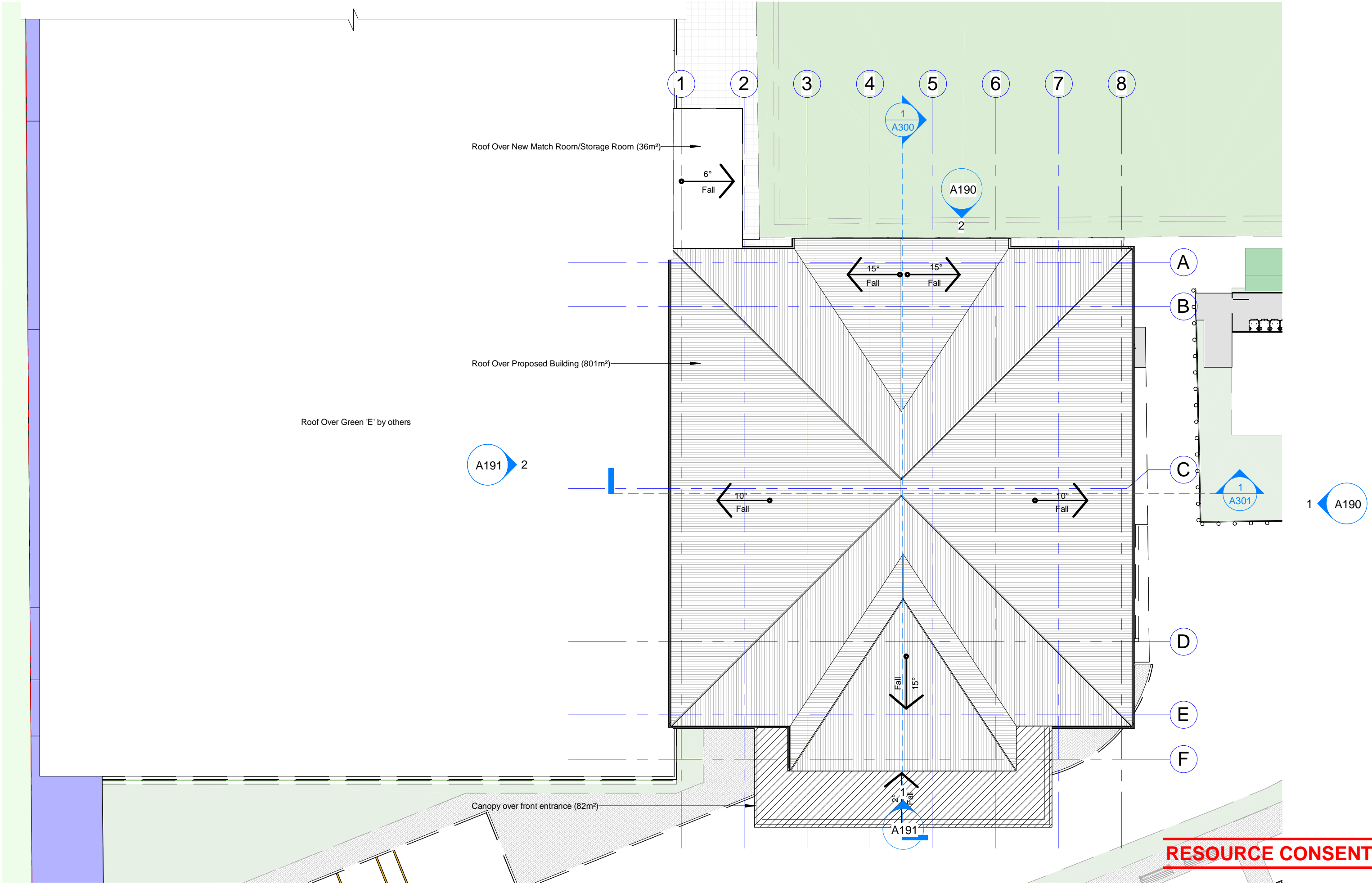
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Project Title
BOWLS + BRIDGE CLUB BUILDING
3C Dromorne Road, Remuera, Auckland

Sheet Title
Proposed First Floor Plan

CAD Ref	Scale (A3 Original)
Project No	Sheet Revision
8104-01	A105 D



C	Resource Consent	18 July 24
B	General Update	5 May 24
A	INITIAL ISSUE	16.04.2024
Ref.	Description	Date

Designed	Designer
Drawn	Author
Reviewed	Checker
Approved	Approver
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**Remuera Bridge & Bowls**
TAMAKI MAKAU-RAU

Project Title
BOWLS + BRIDGE CLUB BUILDING
3C Dromorne Road, Remuera, Auckland

Sheet Title
Proposed Roof Plan

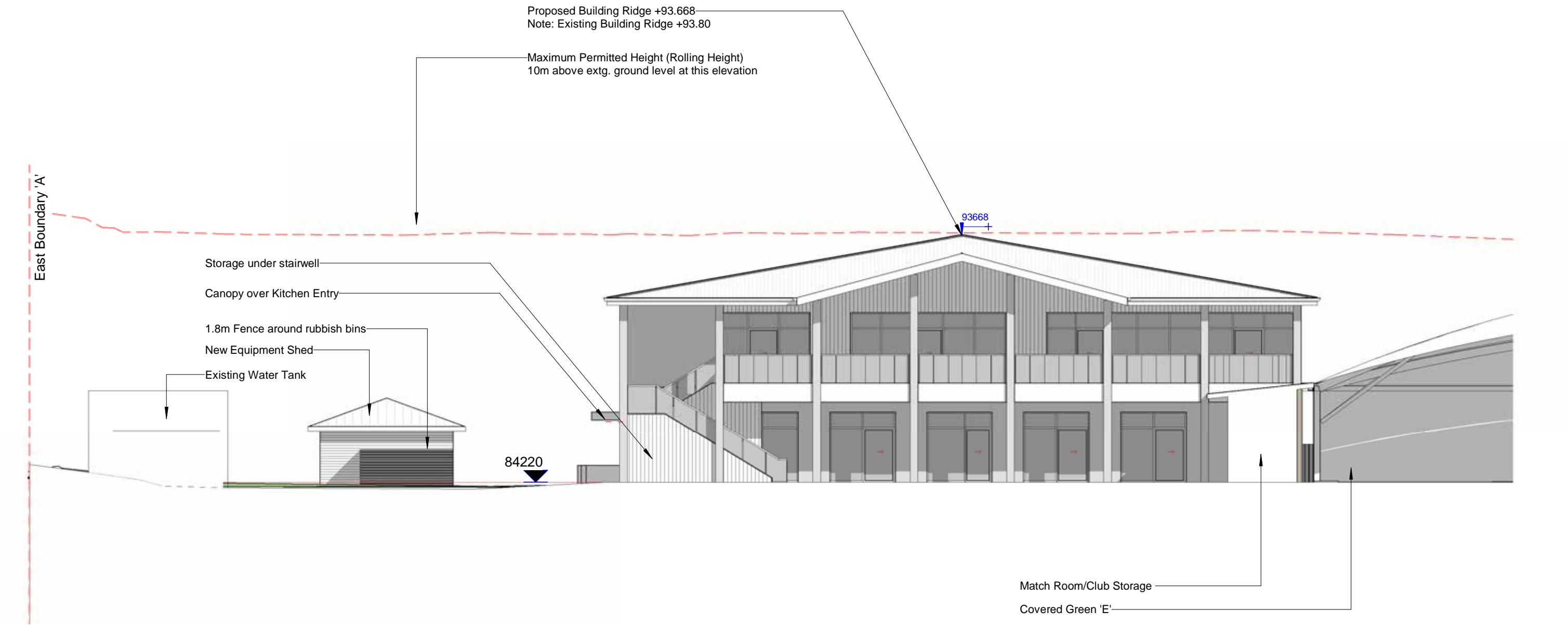
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Project No	Sheet	Revision
8104-01	A106	C



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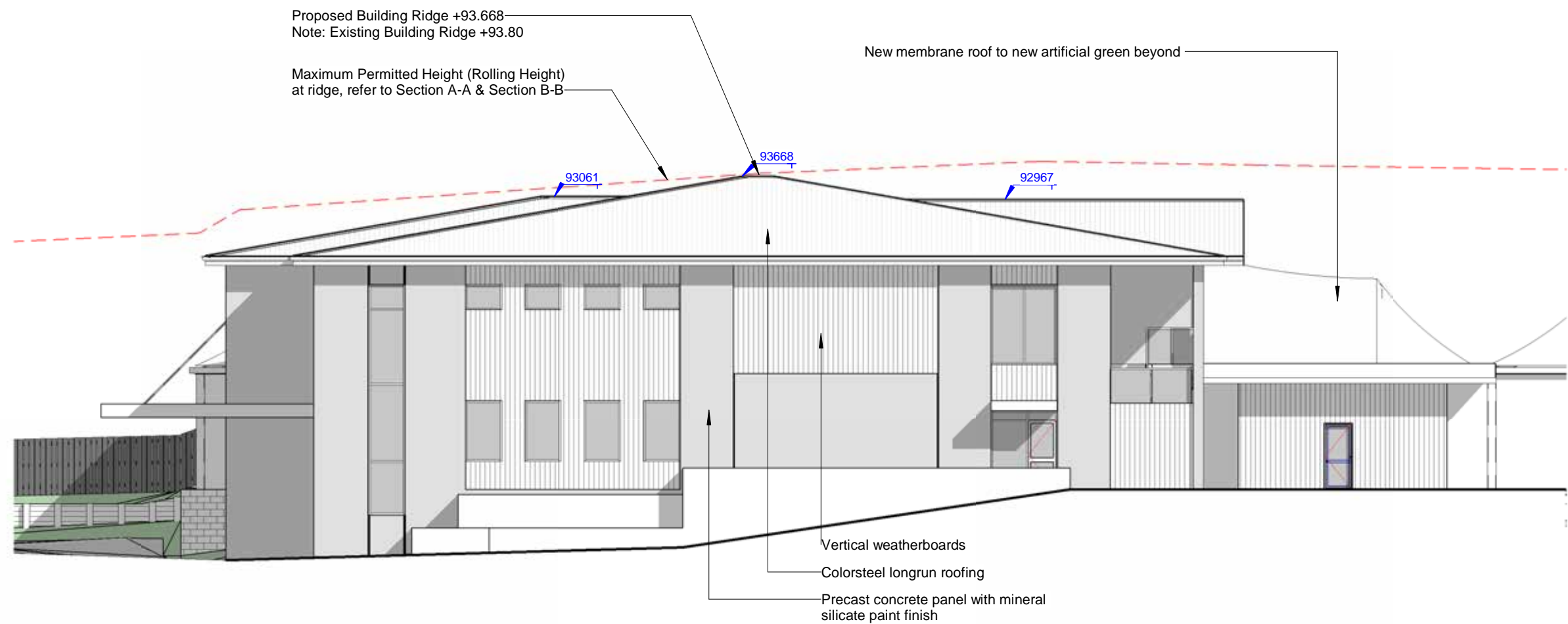
<table><tr><td>A</td><td>Resource Consent</td><td>18 July 24</td></tr><tr><td>Ref.</td><td>Description</td><td>Date</td></tr></table>			A	Resource Consent	18 July 24	Ref.	Description	Date	<table><tr><td>Designed</td><td>Designer</td></tr><tr><td>Drawn</td><td>Author</td></tr><tr><td>Reviewed</td><td>Checker</td></tr><tr><td>Approved</td><td>Approver</td></tr></table> <p>Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office. This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.</p>	Designed	Designer	Drawn	Author	Reviewed	Checker	Approved	Approver	<table><tr><td></td><td>Tse Architects</td></tr><tr><td>www.tse.co.nz</td><td>info@akl.tse.co.nz</td></tr><tr><td colspan="2">Auckland Office</td></tr><tr><td colspan="2">Ground Level, Tower One, Stanway Business Park</td></tr><tr><td colspan="2">646 - 648 Great South Road, Ellerslie</td></tr><tr><td>Phone</td><td>09 525 2214</td></tr></table>		Tse Architects	www.tse.co.nz	info@akl.tse.co.nz	Auckland Office		Ground Level, Tower One, Stanway Business Park		646 - 648 Great South Road, Ellerslie		Phone	09 525 2214	<table><tr><td></td></tr></table>		<table><tr><td>Project Title</td></tr><tr><td>BOWLS + BRIDGE CLUB BUILDING</td></tr><tr><td>3C Dromorne Road, Remuera, Auckland</td></tr></table>	Project Title	BOWLS + BRIDGE CLUB BUILDING	3C Dromorne Road, Remuera, Auckland	<table><tr><td>Sheet Title</td></tr><tr><td>Site Elevations 1</td></tr></table>	Sheet Title	Site Elevations 1	<table><tr><td>CAD Ref</td><td>Scale (A3 Original)</td></tr><tr><td></td><td>1 : 400</td></tr><tr><td>Project No</td><td>Sheet Revision</td></tr><tr><td>8104-01</td><td>A190 A</td></tr></table>	CAD Ref	Scale (A3 Original)		1 : 400	Project No	Sheet Revision	8104-01	A190 A
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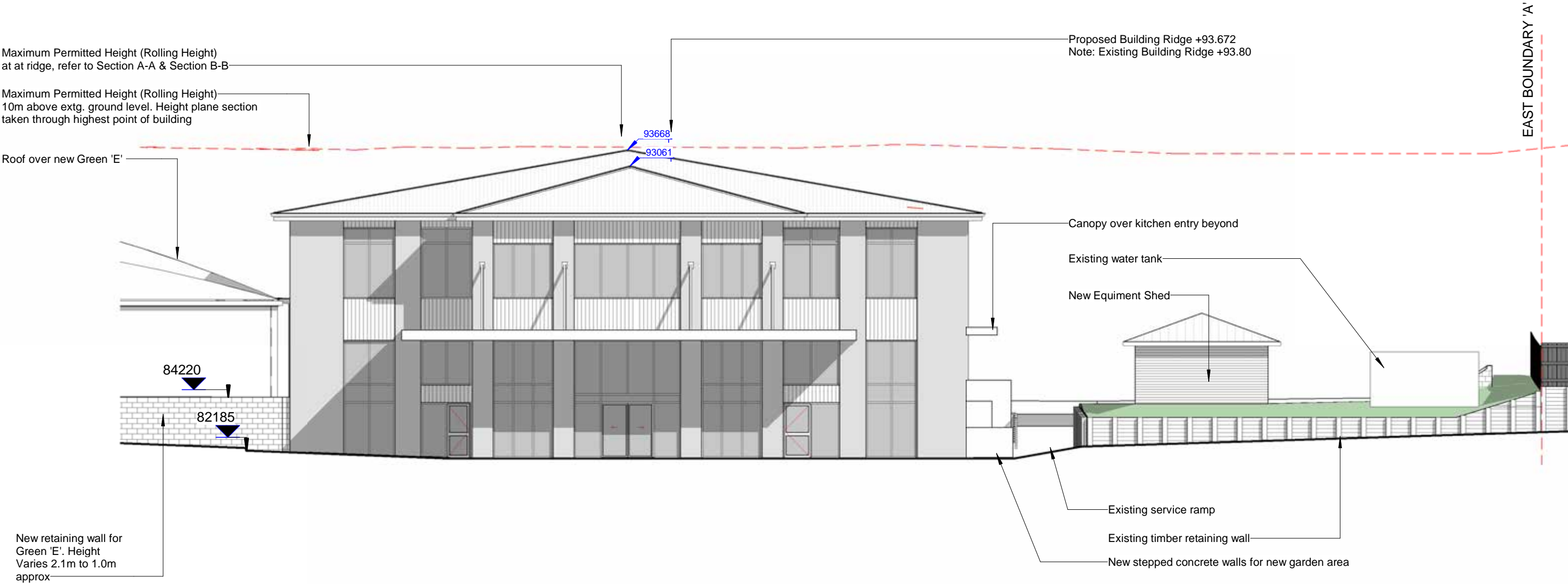
RESOURCE CONSENT

			Designed Designer Drawn Author Reviewed Checker Approved Approver		 www.tse.co.nz info@akl.tse.co.nz		 TAMAKI MAKAU-RAU		Project Title BOWLS + BRIDGE CLUB BUILDING 3C Dromorne Road, Remuera, Auckland	Sheet Title Elevation - North	CAD Ref	Scale (A3 Original) 1 : 150	
C	Resource Consent	18 July 24	Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office. This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.		Auckland Office Ground Level, Tower One, Stanway Business Park 646 - 648 Great South Road, Ellerslie Phone 09 525 2214						Project No 8104-01	Sheet A200	Revision C
B	General Update	5 May 24											
A	INITIAL ISSUE	16.04.2024											
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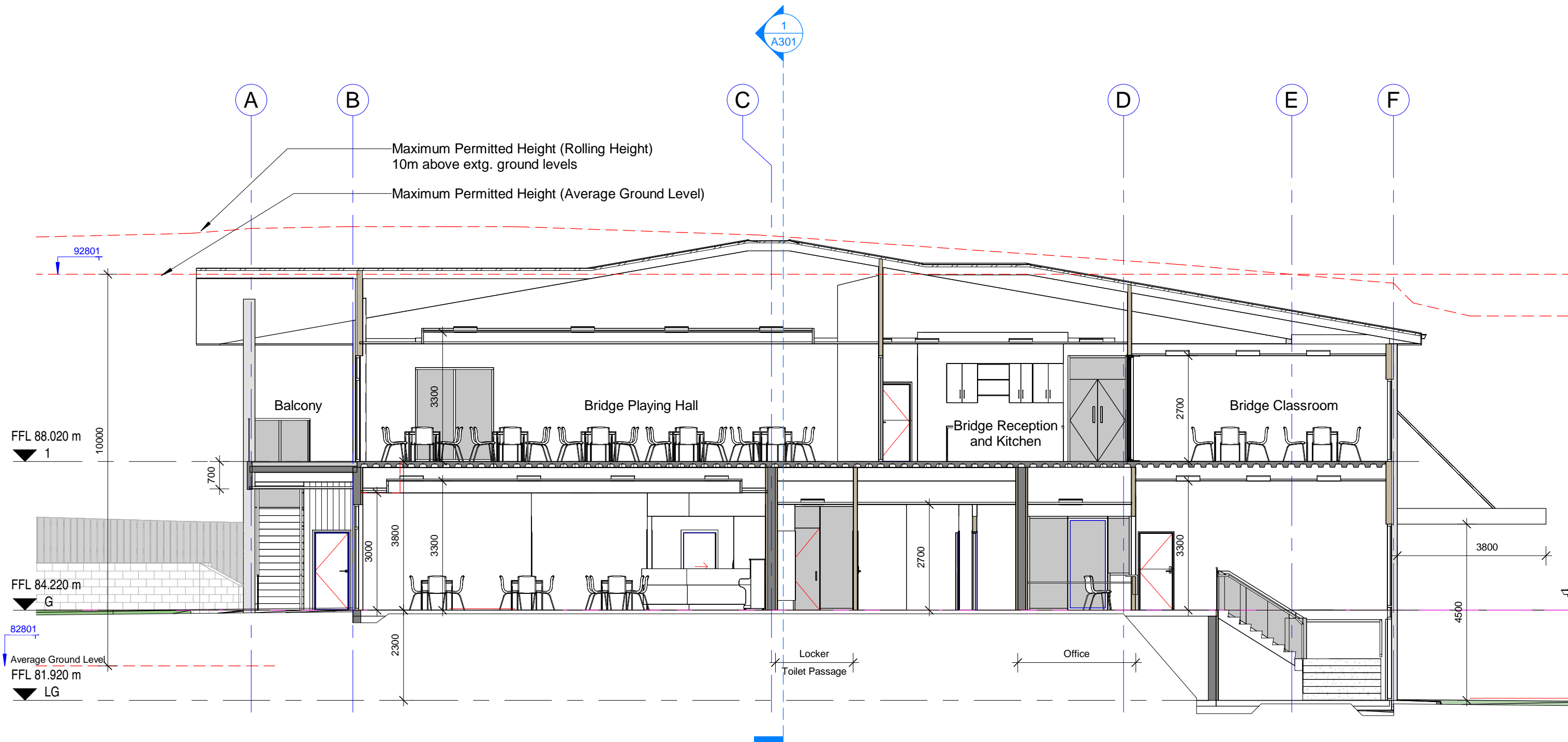
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<div>C Resource Consent</div> <div>B General Update</div> <div>A INITIAL ISSUE</div> <div>Ref. Description Date</div>	<div>18 July 24</div> <div>5 May 24</div> <div>16.04.2024</div> <div></div>			<div>Project No</div> <div>8104-01</div>	<div>Sheet</div> <div>A201</div>	<div>Revision</div> <div>C</div>			



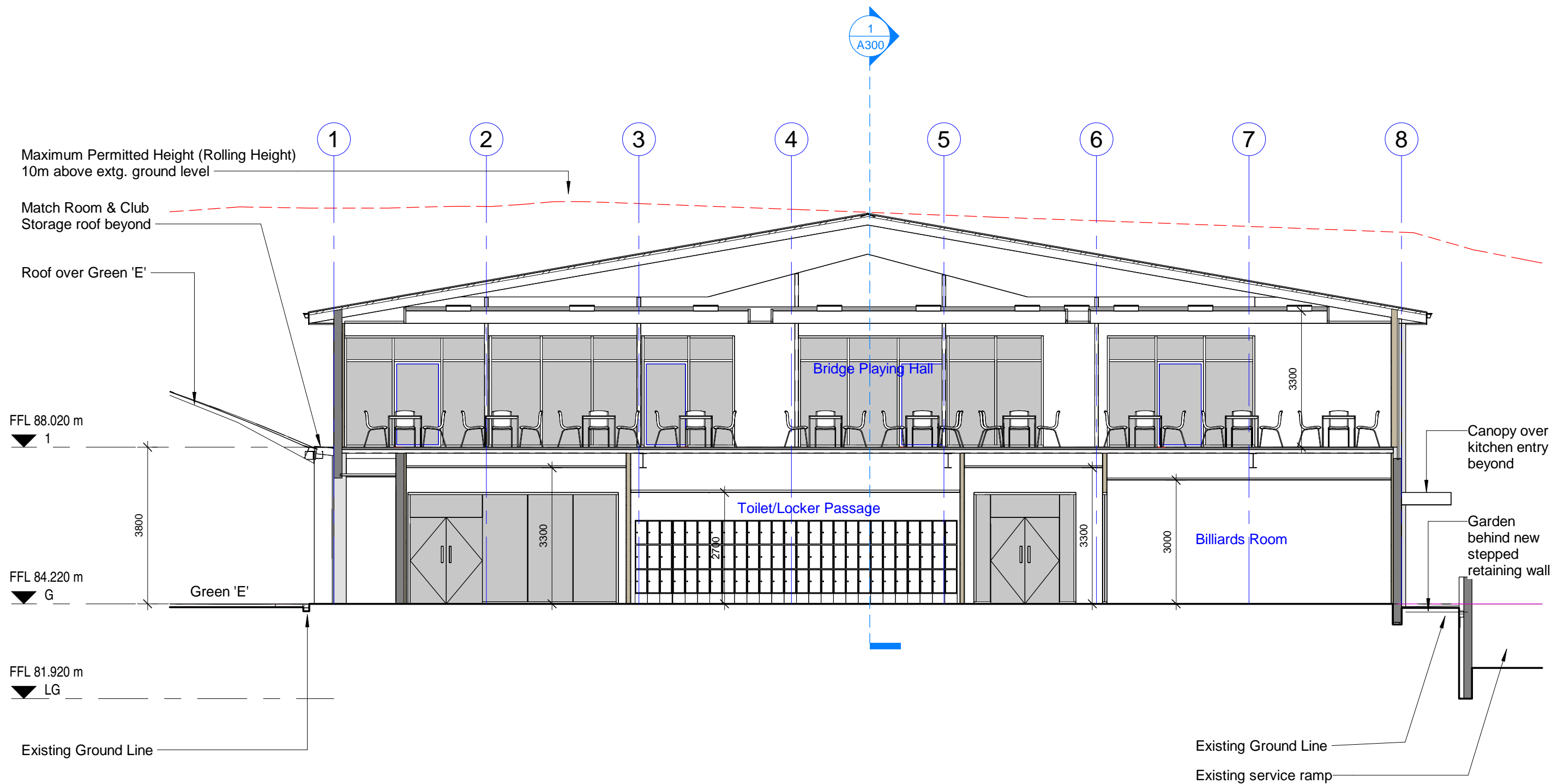
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C	Resource Consent	18 July 24										
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			Drawn Author					1 : 100		
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C	Resource Consent	18 July 24						8104-01	A300	C
B	General Update	5 May 24								
A	INITIAL ISSUE	16.04.2024								
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RESOURCE CONSENT

C	Resource Consent	18 July 24
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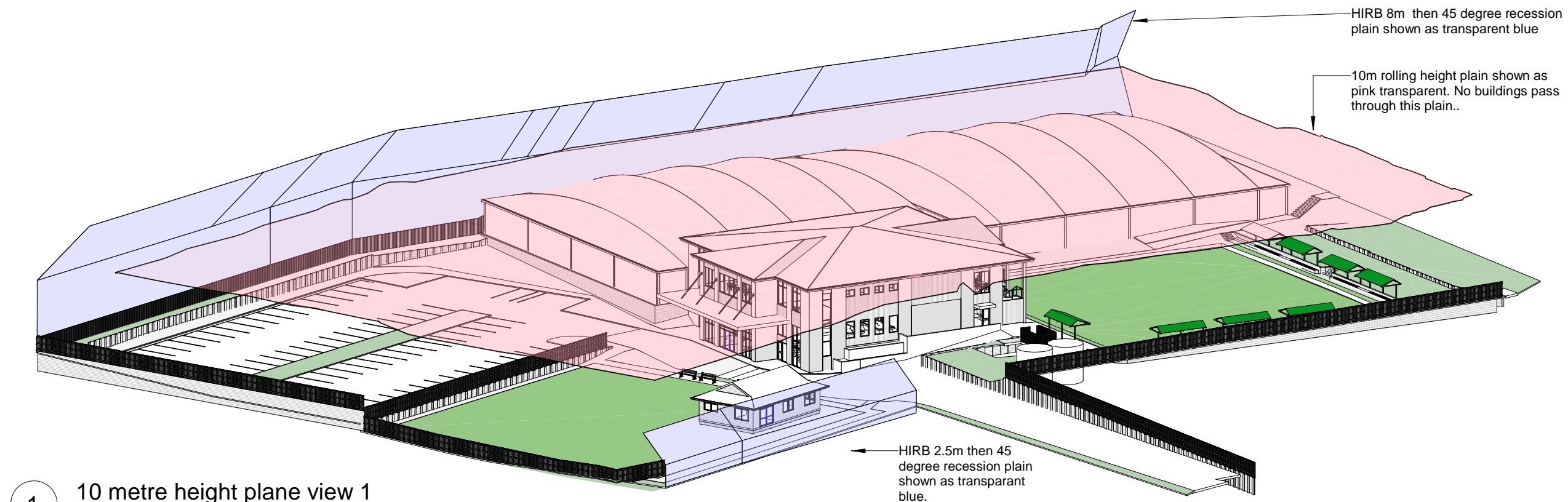
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646 - 648 Great South Road, Ellerslie
Phone 09 525 2214

**Remuera Bridge & Bowls**
TAMAKI MAKAU-RAU

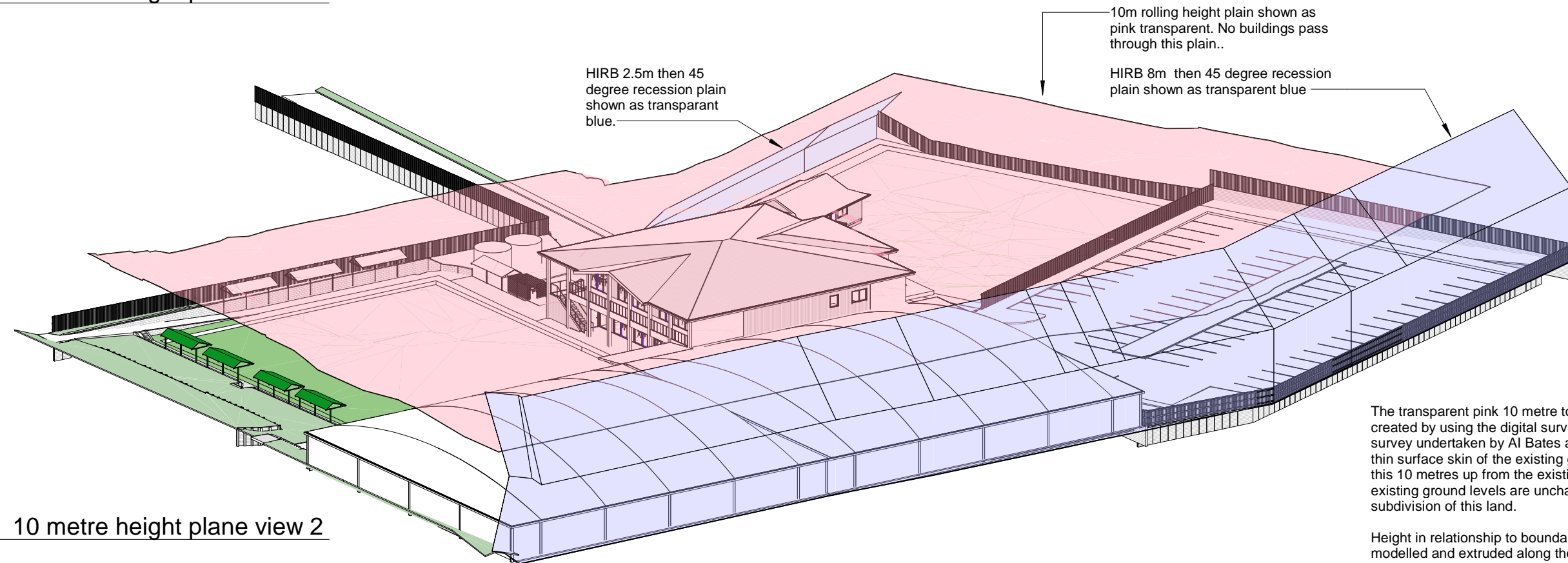
Project Title
BOWLS + BRIDGE CLUB BUILDING
3C Dromorne Road, Remuera, Auckland

Sheet Title
Section B-B

CAD Ref	Scale (A3 Original)	
	1 : 100	
Project No	Sheet	Revision
8104-01	A301	C



1 10 metre height plane view 1



2 10 metre height plane view 2

The transparent pink 10 metre tolling height plane has been created by using the digital survey information from the survey undertaken by Al Bates and Associates to form a thin surface skin of the existing ground and then moving this 10 metres up from the existing ground levels. The existing ground levels are unchanged since the last subdivision of this land.

Height in relationship to boundary plains have been modelled and extruded along the boundaries following the height of existing ground at the boundary. These are shown in transparent blue. The HIRB requirement is 8 metres then 45 degrees to the adjacent school and 2.5 metres and 45 degrees to the adjacent residential zone..

RESOURCE CONSENT

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New timber stairs and timber deck will be constructed at entry and outside the Living Room ranch slider.

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B	Resource Consent	18 July 24	Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office. This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.	Auckland Office Ground Level, Tower One, Stanway Business Park 646 - 648 Great South Road, Ellerslie Phone 09 525 2214		Project No <p>8104-01</p>	Sheet <p style="text-align: center;">A311</p>	Revision <p style="text-align: center;">B</p>
A	Parking spaces adjusted	29 June 24						
Ref.	Description	Date						



View from Market Road

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<table><tr><td>B</td><td>Resource Consent</td><td>18 July 24</td></tr><tr><td>A</td><td>Site Plan Amended</td><td>30 May 24</td></tr><tr><td>Ref.</td><td>Description</td><td>Date</td></tr></table>			B	Resource Consent		18 July 24	A	Site Plan Amended	30 May 24	Ref.	Description	Date	<div>Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office.</div> <div>This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.</div>		<div>Project No</div> <div>8104-01</div>		<div>Sheet</div> <div>A400</div>
B	Resource Consent	18 July 24															
A	Site Plan Amended	30 May 24															
Ref.	Description	Date															



View From Green A

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<table><tr><td>B</td><td>Resource Consent</td><td>18 July 24</td></tr><tr><td>A</td><td>General Update</td><td>5 May 24</td></tr><tr><td>Ref.</td><td>Description</td><td>Date</td></tr></table>			B	Resource Consent		18 July 24	A	General Update	5 May 24	Ref.	Description	Date	<div>Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office.</div> <div>This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.</div>				<div>Project No</div> <div>8104-01</div>		<div>Sheet</div> <div>A401</div>	
B	Resource Consent	18 July 24																		
A	General Update	5 May 24																		
Ref.	Description	Date																		



View 3 From Green A

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<table><tr><td>B</td><td>Resource Consent</td><td>18 July 24</td></tr><tr><td>A</td><td>General Update</td><td>5 May 24</td></tr><tr><td>Ref.</td><td>Description</td><td>Date</td></tr></table>			B	Resource Consent	18 July 24	A	General Update	5 May 24	Ref.	Description	Date	<div>Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office.</div> <div>This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.</div>					<div>Project No</div> <div>8104-01</div>		<div>Sheet</div> <div>A402</div>		<div>Revision</div> <div>B</div>
B	Resource Consent	18 July 24																			
A	General Update	5 May 24																			
Ref.	Description	Date																			



View 2 From Green A

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B	Resource Consent	18 July 24	<div>Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office.</div> <div>This document and the copyright in this document remain the property of Tse Auckland Limited.</div> <div>The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.</div>							
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View From Entrance Driveway

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Front Entrance From Green D

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B	Resource Consent	18 July 24	<div>Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office. This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.</div>														
A	General Update	5 May 24															
Ref.	Description	Date															
								<div>Project No</div> <div>8104-01</div>		<div>Sheet</div> <div>A405</div>		<div>Revision</div> <div>B</div>					



View From Green A at sunset

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B	Resource Consent	18 July 24	Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office. This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.	Auckland Office Ground Level, Tower One, Stanway Business Park 646 - 648 Great South Road, Ellerslie Phone 09 525 2214						
A	General Update	5 May 24								
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View from Lounge across Green A to Green B

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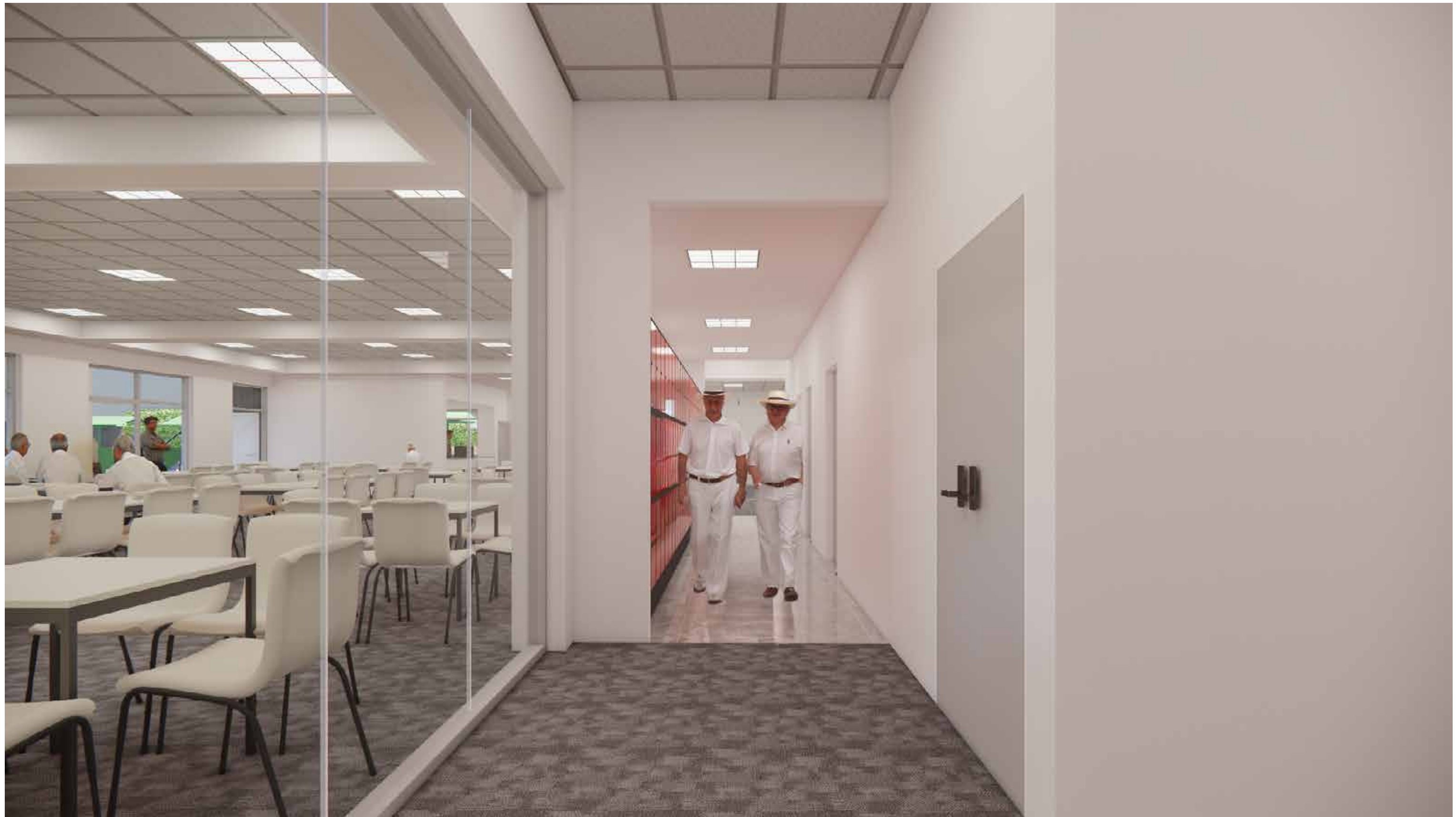
			<div>Designed Designer</div> <div>Drawn Author</div> <div>Reviewed Checker</div> <div>Approved Approver</div>	<div> Tse Architects</div> <div>www.tse.co.nz info@akl.tse.co.nz</div> <div>Auckland Office</div> <div>Ground Level, Tower One, Stanway Business Park</div> <div>646 - 648 Great South Road, Ellerslie</div> <div>Phone 09 525 2214</div>	<div> Remuera Bridge & Bowls</div> <div>TAMAKI MAKAU-RAU</div>	<div>Project Title</div> <div>BOWLS + BRIDGE CLUB BUILDING</div> <div>3C Dromorne Road, Remuera, Auckland</div>	<div>Sheet Title</div> <div>3D View 8</div>	<div>CAD Ref</div> <div>Scale (A3 Original)</div>
			<div>Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office.</div> <div>This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.</div>					
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View of Bowls Lounge

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View Locker / Amenities Corridor & Bowls Lounge

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B	Resource Consent	18 July 24	Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer all discrepancies to the drawing office. This document and the copyright in this document remain the property of Tse Auckland Limited. The contents of this document may not be reproduced either in whole or in part by any means whatsoever without the prior written consent of Tse Auckland Limited.							
A	General Update	5 May 24								
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8104-01				A411						



Facility Managers Office looking through to Billiards

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View from Bridge Training Room looking through Reception & Kitchen to Bridge Room

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View of Bridge Playing Hall

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						<div>Project Title</div> <div>BOWLS + BRIDGE CLUB BUILDING</div> <div>3C Dromorne Road, Remuera, Auckland</div>	<div>Sheet Title</div> <div>3D View 15</div>	<div>CAD Ref</div> <div>8104-01</div>	<div>Project No</div> <div></div>	<div>Sheet</div> <div>A414</div>	<div>Revision</div> <div>B</div>				